
 PINNACLE POINT BEACH AND GOLF RESORT	Author:	PPARC	Effective Date:	01/12/2008
	Approver:	PPHOA Board	Revision No:	03
	Doc. No:	Final 002		

ARCHITECTURAL CODE – REVISED

General Provisions


1. These guidelines are for free standing plots only.
2. The intention of these guidelines is to achieve a simple Coastal Vernacular design.
3. Basic sketch plans shall be submitted to the Pinnacle Point Home Owners for an orientation meeting before submission of formal plans to the Pinnacle Point Architectural Review Committee (PPARC) for first meeting. No representative will be present for orientation meeting.
4. Site analysis shall be conducted by the architect and take cognisance of the following before designing:
 - Red Data Species (position, amount, types, etc.)
 - Position of Services (fire hydrant, etc)
 - Ground/soil conditions
 - Slope of site and orientation
 - Practical position and layout of house
5. The architect / competent representative (someone who understands technical discussions) should present the plans on the first meeting following orientation meeting.
6. Design architects should be registered with South African Council for the Architectural Profession (SACAP).
7. Minimum requirement for persons submitting plans for approval shall be Professional Degreed Architect (Pr Arch MIArch) as defined by SACAP.
8. Plans for all buildings; alterations and additions shall be submitted to the Pinnacle Point Architectural Review Committee (PPARC) for approval, insofar as design and position are concerned. Variances shall be based on the basis of architectural merit and not on hardship.
9. A scrutiny fee is payable on or before the day of the PPARC meeting. No plans will be reviewed without payment of this fee.
10. All plans must first be approved by PPARC before being submitted to Mossel Bay Municipal Council.

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- 11 Alterations should be approved by all neighbours concerned before plans are submitted to PPARC for final approval.
- 12 Decisions taken by PPARC shall be binding and final. An explanation of non-compliance will be issued.
- 13 PPARC members are indemnified of any decisions taken.
- 14 In addition to the provisions of the Pinnacle Point Urban Code and this Architectural Code, all construction is subject to the provisions of the Mossel Bay Council, National Home Builders Registration Council and the National Building Regulations SABS 0400. All details, review and inspection procedures described in these regulations and the design approval process are intended to assure compliance.
- 15 All contractors shall be approved by the Pinnacle Point Home Owners Association (PPHOA). The main contractor and all his subcontractors shall be licensed as required by the relevant Departments (see 14 above). The general contractor shall warrant all materials and workmanship to be good quality and remain so for a period of five years. All contractors shall carry insurance as follows:
 - 15.1 NHBRC registered.
 - 15.2 MBA(Masters Builders Association)
 - 15.3 Workmen’s compensation as required by law.
 - 15.4 Public Liability: agreed sum for each accident occurrence.
 - 15.5 Property Damage: Agreed sum for any one accident.
 - 15.6 Health & Safety Plan
 - 15.7 Letter of Good Standing.

The main contractor shall furnish to the owner evidence of the above Insurances and shall secure the same from all subcontractors.

- 16 Construction Debris
 - 16.1 The contractor shall furnish rubbish containers and, at all times, shall keep the premises free from accumulation of rubbish and building refuse caused by construction. Building refuse and materials shall not be allowed outside a designated area and any that does intrude beyond shall be cleaned up immediately. Dust must be kept to a minimum. At the completion of the work, all remaining rubbish and building refuse shall be disposed off legally. Tools, construction equipment, machinery, and surplus materials shall be removed from the site. The PPHOA shall charge the contractor for any cleaning- up of a contractor’s building area.

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17 Construction Noise

17.1 Construction activities shall not take place after 12h00 noon on Saturdays, whole of Sundays and Holidays. Holiday hours shall be announced by the PPHOA. Radios are not allowed on construction sites.

18 All of the contractors and subcontractors workers must enter the Pinnacle Point Beach and Golf Club in an approved vehicle with a temporary access token or ID document.

19 Screened off toilet facilities must be provided for the workers in terms of Local Authority requirements within the site area of the unit.

20 A Certificate of Occupancy shall be issued at the completion of the house by the Mossel Bay Municipal Council after inspection has been done by the PPHOA and a letter issued by PPHOA with all engineers certificates.

21 These guidelines should be read in conjunction with landscaping guidelines, ROD, House Rules and Articles of Association.

22 Any deviations unspecified in the guidelines must be submitted to PPARC for approval.


General Construction Requirements

1. There shall be no more than one dwelling unit per erf with a total FAR of 0.5 and a coverage not exceeding 40%.

2. An area schedule similar to the following should be shown on all drawings:

AREA SCHEDULE:

SITE AREA	:m ²
COVERAGE	:m ²
FLOOR AREA RATIO	:	0.5
UNDISTURBED AREA	:m ² = min. 25%
REHABILITATED AREA	:m ² = min. 15%
ALL FLOOR AREAS (SEPARATE):	m ²
TOTAL FLOOR AREA	:m ²
TOTAL HARD SURFACES	:m ² = max. 25%


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3. Floor Area Ratio (FAR)

- 3.1 The Floor Area Ratio (FAR) is the ratio of the total floor area of a building on a certain location, to the size of the land of the location, or the limit imposed on such a ratio. The floor area ratio is thus the total building area divided by the site area.
- 3.2 Total Building Area is the total covered area on all floors of all buildings on certain plot and is thus the sum of all floors of all storeys, including basements. Floor area to be measured from the outside of external walls. Covered parking space may be subtracted from the total FAR to a limit of 72m² or parking space for 4 vehicles.
- 3.3 The following should be taken into consideration when calculating FAR:
- Staircase well is counted as two storey building.
 - Garages and covered parking may be subtracted from FAR.
 - Roof overhangs exceeding 900mm is counted as coverage.
 - Basement or inhabitant areas are counted as part of FAR.

4. Landscape

- 4.1 Full landscape plan should be submitted by a PPHOA accredited Landscaper with the approved list of plants before handover. A revised landscape plan may be submitted at a later stage.
- 4.2 All landscape plans must have a minimum of 10% of the plants replanted as food species for the Fauna on the site. A list is available from PPHOA.
- 4.3 Minimum 25% of existing erf size shall remain undisturbed during construction, except for an area 2.5metre beyond the perimeter of the building. Existing foliage shall be protected by 1 800 high minimum 80% green shade cloth and Bonnox fence, screening it off from construction activities. It shall be protected from paint-over spray and from rubbish. Replacing of damaged and new planting materials shall be of an indigenous species from the approved plant material list (**refer to Landscape Guidelines**)
- 4.4 Area percentage distribution for all sites should be as follows:
- | | |
|------------------------|---|
| Coverage | : 40% |
| Min Undisturbed Area | : 25% |
| Max Hard Surfaces/Lawn | : 20% (may include driveways, lawn, pool and decks and grass blocks) |
| Min Rehabilitated Area | : 15% (back to original Fynbos vegetation) See sketches below. |

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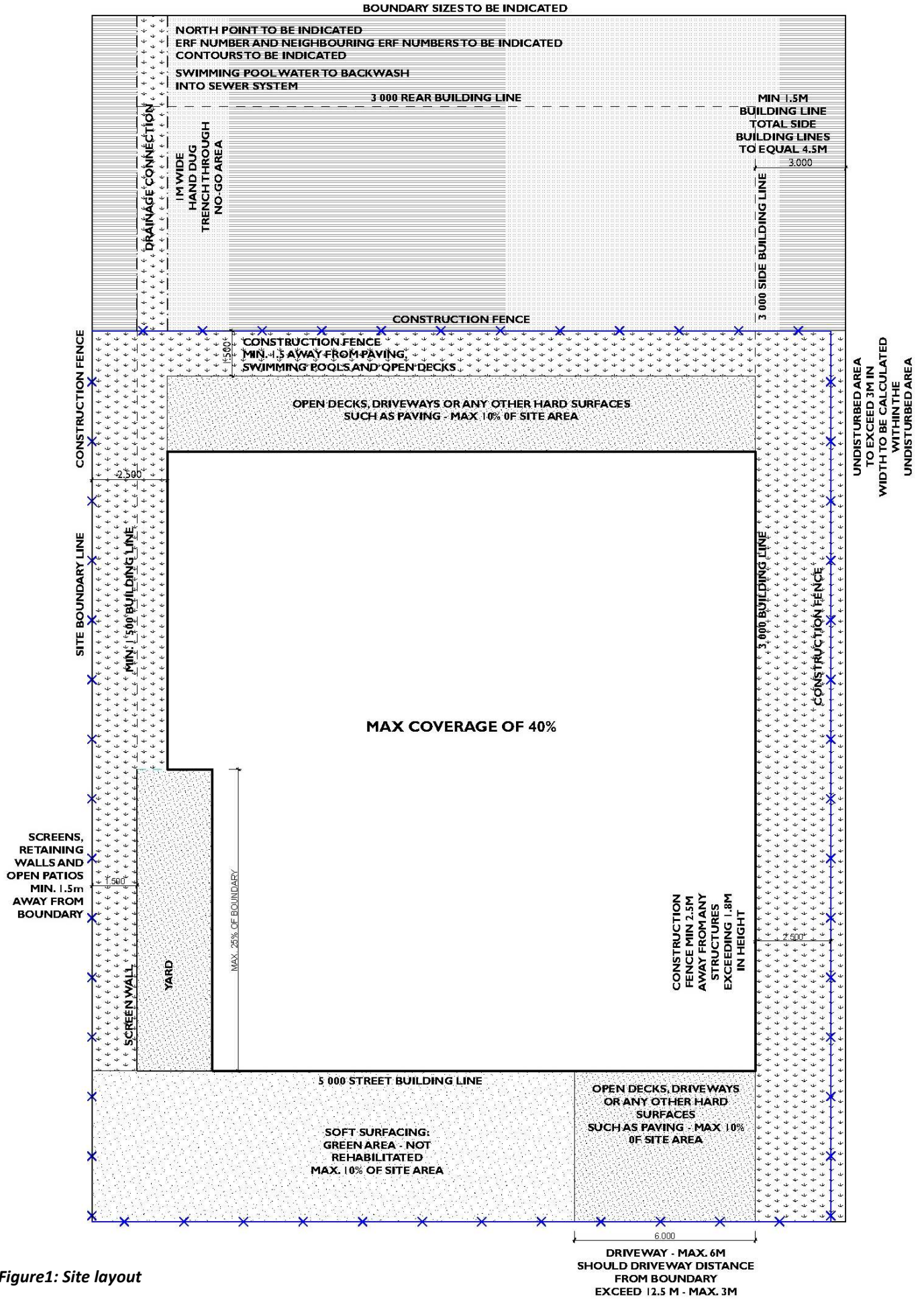



Figure1: Site layout

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EXAMPLE:
SITE AREA - 1 000m²

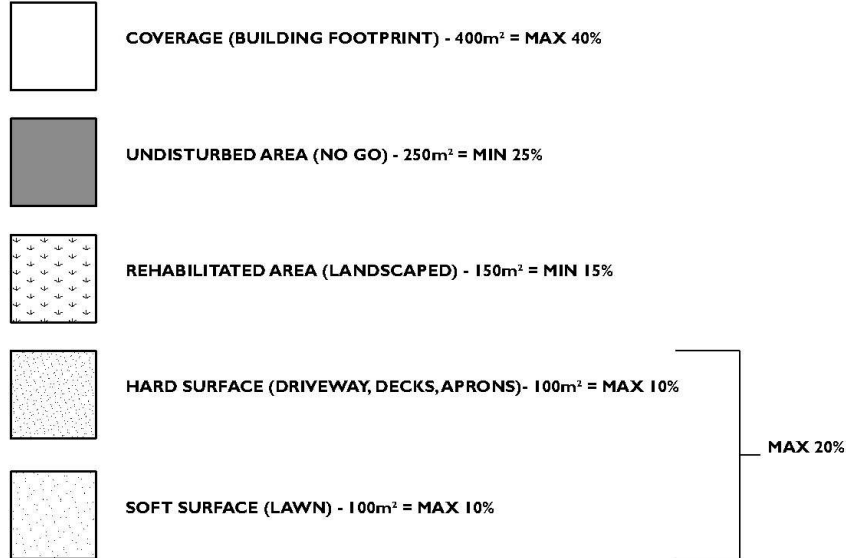



Figure2: Site Legend

- 4.5 25% undisturbed area shall not be less than 3m wide at any point.
- 4.6 Search and Rescue plants are to be replanted on site.
- 4.7 No construction shall take place within a minimum of 1.5m from the cadastral boundary.
- 4.8 A 2.5m hoarding building line area is allowed.
- 4.9 Courtyard (atrium) should be sealed at all sides and be roofed.
- 4.10 An archeological monitor should be consulted before any excavations take place, to monitor excavations on site.
- 4.11 Top soil specific to each site shall be stored on site preferable at the low lying areas of the site in conjunction with sandbags/hoarding to control erosion (minimum 15mm)
- 4.12 Stock piled material on site should be covered by 80% shade cloth for dust control.
- 4.13 All vegetation should be mulched during site clearance and a DWAF permit will be required to remove red data plants.

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5. Stormwater

- 5.1 Pre and post stormwater plan should be submitted.
- 5.2 Runoff pre stormwater should be equal to runoff post stormwater.
- 5.3 Should the calcrete layer be disturbed in construction, a suitable impervious layer (waterproof membrane) is to be placed back to prevent water seeping below the calcrete layer.


6. Irrigation

- 6.1 Long term irrigation is not recommended in rehabilitated areas.
- 6.2 Irrigation should be stopped after the plants are fully established.
- 6.3 No irrigation is allowed on established Fynbos.

7. Footings & Structure

7.1 Basements

- Basements are not recommended, if allowed it should be uninhabitable and accommodating a maximum of 4 cars including golf cart.
- Positions and size of basements should be approved by PPARC with a maximum depth of 3.5m including footings.
- Midpoint of basement to be at 2m below natural ground level to qualify as basement area. ***See sketch below.***

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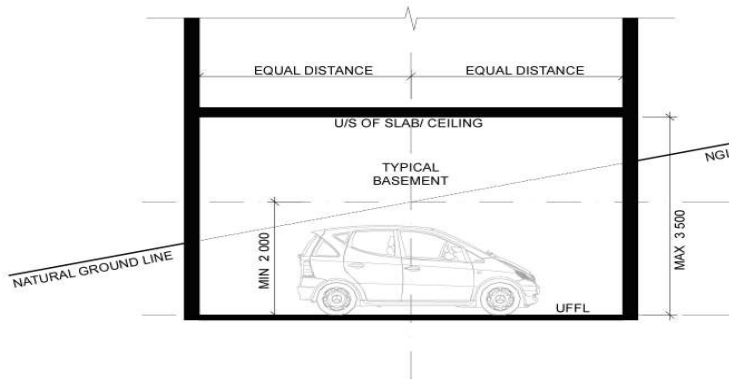



Figure3: Basement

7.2 Plinth Walls

Plinth walls and columns are restricted to a maximum height of 1.5m above natural ground level.

7.3 Plan Layout

No 45 degree angled walls will be allowed. **See Sketch below**

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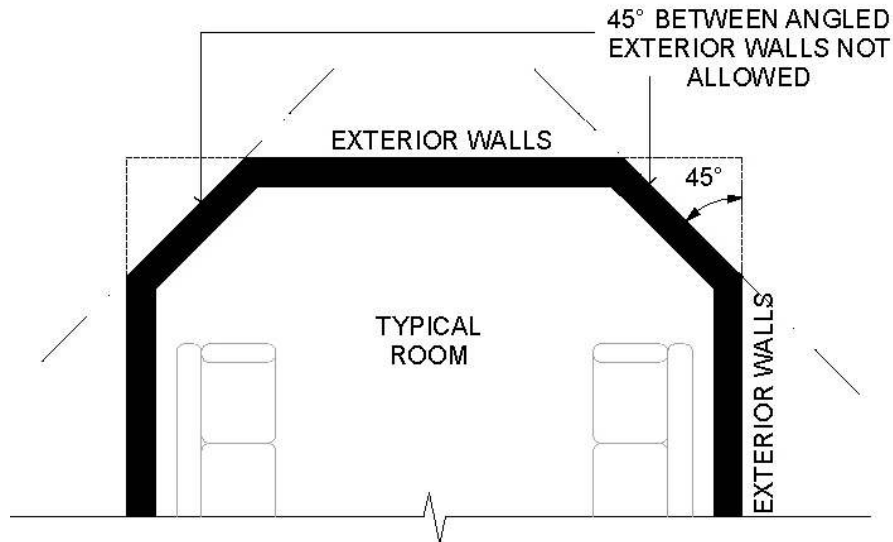



Figure4: 45 degree angle

7.4 Timber Footings and Structure

- Timber structures where applicable shall be made from clear pressure treated SABS approved timber, elevating finished floor level to 600mm minimum above the existing grade.
- Crawl space beneath the floor joists shall be a minimum of 450mm.
- Foundations and structure must be certified by a structural engineer or registered architect.
- Garages where permitted, shall have a concrete floor on grade with natural stone or smooth plastered and painted walls to the level of the base trim on the associated house.
- For timber structures the garage shall be detailed in a manner similar to the house.

7.5 Height Restriction

Restrictive heights shall be measured from the mean existing contour lines of the site. The height line approved for Pinnacle Point by Mossel Bay Council is 8.5metres above this line at any point on the site. **See sketch below.**

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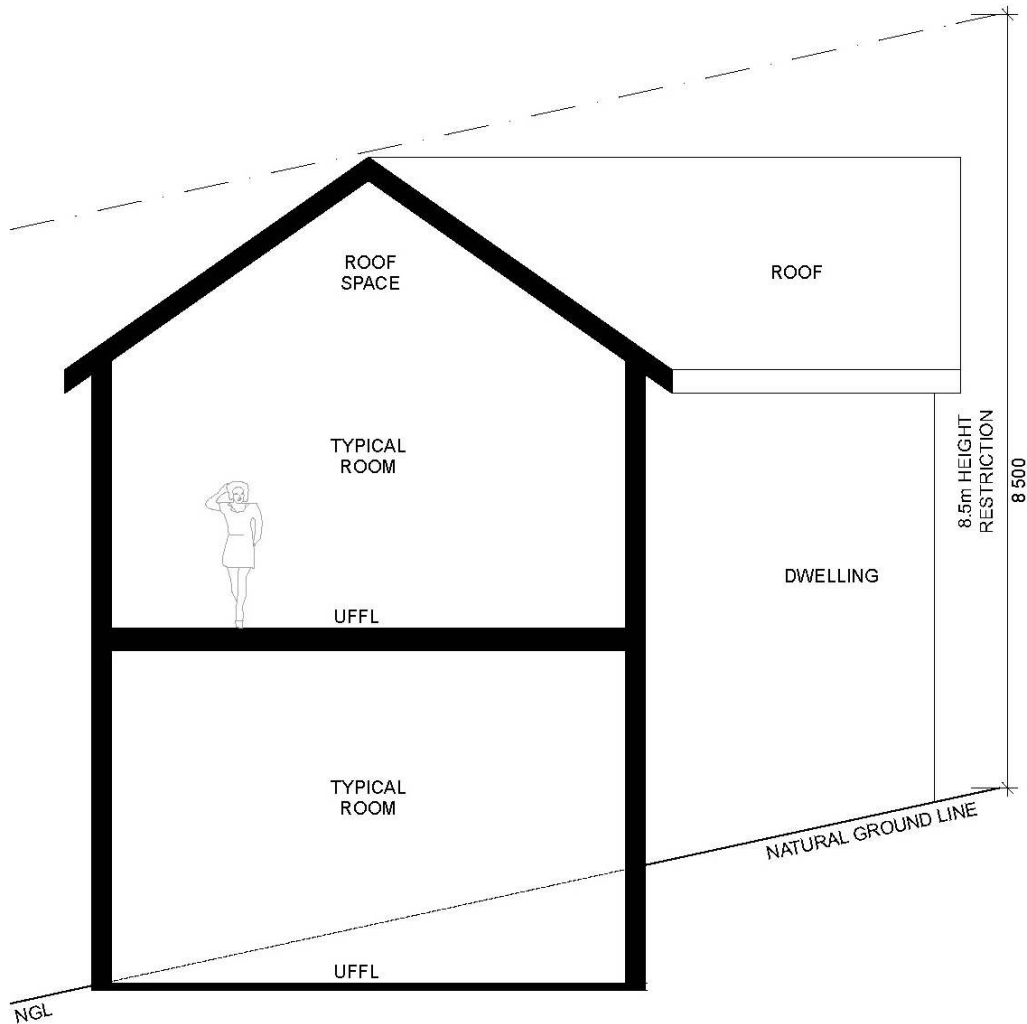



Figure5: Height Restriction

8. Roof Structure

8.1 Roof Pitch

- All pitched roofs shall be a minimum of 20 degrees and a maximum of 30 degrees.
- Roof pitch above porches and ancillary structure shall be a minimum of 20 degrees.
- Main roofs must be symmetrical about their peaks.
- Monopitches will not be permitted.
- Lean-to (linked-to) roofs will be permitted only when abutting vertical parapet walls on three sides. The roof pitch of the lean-to should be half of the pitch of the main roof. **See Sketch below.**

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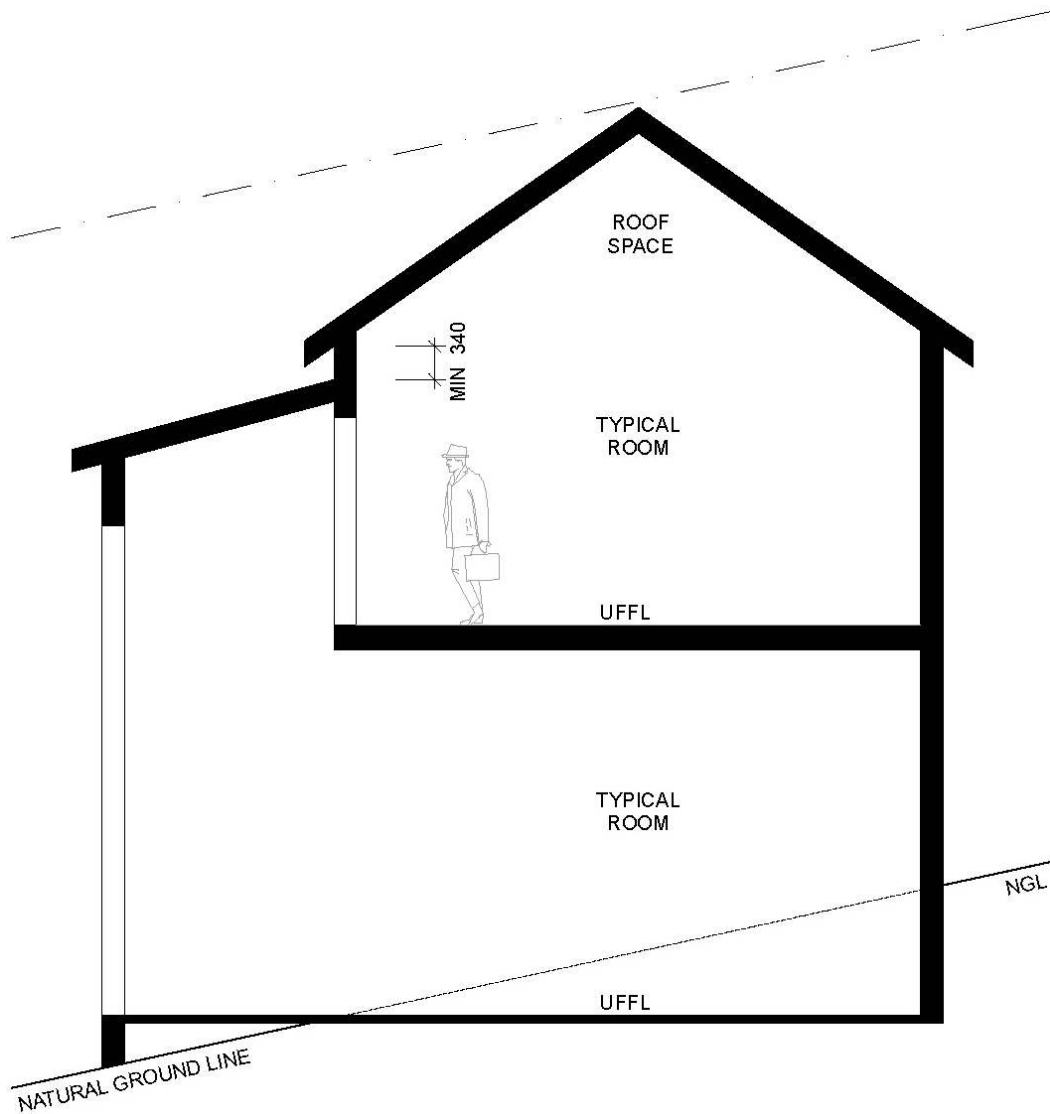



Figure6: Lean-to roof

8.2 Verandahs or Covered stoeps are allowed subject to the above.

8.3 *Flat Roofs*

- Eyebrows and flat roofs are not encouraged, will only be approved at PPARC discretion.
- Flat roofs will only be permitted when accessible from an adjacent enclosed space and must be surrounded with a balustrade.
- Flat roofs should not be more than 10% of the total roof area on plan.

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- Flat roofs may be used as linking elements between pitch roofs.
- Eyebrows protruding more than 900mm will be perceived as flat roofs.
- Facias, if any, must completely cover rafter tails.
- Pergolas are not allowed.

8.4 *Overhangs*

- Roof overhangs should be a minimum of 450mm.
- Roof overhang is measured horizontally from outside of wall to inside of facias board.

8.5 *Skylights*

- The uppermost projection of the skylight must not protrude higher than the parapet wall surrounding the flat roof area.
- Pitch should be kept to a minimum.
- Skylights must preferably not be visible from the perimeter of the site.
- No roof lights or dormer windows allowed.

8.6 *Solar Panels*


- The use of solar panels for generating electricity and solar heated hot water systems are encouraged.
- Remote tank and panel system to be used, thus combined tank and panels on roof area not allowed.
- Panels to be installed at the same angle as the roof.
- Solar panels to be indicated on roof plan for approval by PPARC and must be planned into the overall design. Visibility should be kept to a minimum.

8.7 *Chimneys*

- The highest point of the chimney should be not more than 1m above the ridgeline of the roof.
- Any exposed stainless steel flues must not exceed 1.2m in length.

8.8 *Drying Yards and Refuse Areas*

- Drying yards and refuse areas to be enclosed and height to be 2.1m maximum.
- Any length of yard wall may not exceed 25% of the corresponding boundary length.

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- The entire surface of both sides of the yard walls must be finished to match the dwelling.
- Floor finish should match that of driveway.
- Gates must be solid timber in vertical or horizontal panels and may not be higher or lower than the wall.

9. Exterior Finishes

9.1 All timber exposed to the weather shall be of SABS approved and finishing according to PP architectural guidelines.

9.2 Fibre cement ship-lap boarding may be used for timber framed houses or as a cladding on brick houses.

9.3 All exposed brick walls shall be smooth plastered with a paint finish.

9.4 Face brick will not be allowed.


9.5 Stone cladding shall be natural stone only.

9.6 Paint Finishes

- Natural colours to match or blend with the landscape are favoured.
- All exterior colours shall be approved by the PPARC.
- Trim around openings shall be of a contrasting colour.
- Paint system used must be a minimum of 1 coat oil based primer, 1 coat acrylic latex paint.
- Caulking or sealing shall be required around all exterior openings and at other necessary places where wood is jointed and shall be 100% acrylic or paintable silicon.
- When repainting, the original color scheme shall be repeated or a new color scheme must be submitted for approval.
- Cementitious Paint Finishes shall be approved by PPARC.

9.7 Plaster

- Smooth plaster walls are encouraged.
- Spanish and similar plasters are not allowed.
- A sample of Rough Scraper Coat Plaster shall be approved by PPARC prior to commencement.
- Bagged wall finish is not allowed.

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10. Windows & Doors


- 10.1 Sliding, casement, or double hung windows are allowed. Individual windows and porch openings, when rectangular shall be square or in the proportion 1:1.6 wherever possible.
- 10.2 Materials may be the following:
- timber
 - anodized aluminium (Final colours, sections and shape shall be approved by PPARC)
 - UPVC
- Fan-light windows, circular windows, stained glass or other windows must be submitted for approval to the PPARC.
- 10.3 In areas where obscured glass is required, only frosted or sandblasted glass colours will be allowed. Position application and colour to be approved at PPARC discretion.
- 10.4 Glass standards to conform to SABS 0400. Glass used must be fully non-reflective and no mirror glass will be allowed.
- 10.5 Privacy Screens or shutters may be used. Any shutters used must be functional timber or aluminium. Non-functional (decorative) shutters will not be allowed. The colours must match that of the windows and doors.

11. External Stairs and Railings

- 11.1 Vertical retaining walls higher than national building regulations to have balustrades, and should be stepped with planters.
- 11.2 All external stairs and railings may only be constructed from timber which is to be painted. Any other material must be approved by PPARC.

12. Fasteners

- 12.1 All bolts, nails, staples, hinges, etc. exposed to the weather shall be hot-dipped galvanized steel, stainless steel or brass.
- 12.2 Contractor shall provide adequate tie-down system consisting of anchor bolts, strapping, and clips required for the particular connections within the structures.

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12.3 Bolts and nails shall be counter-sunked or secret fixed to all facias, barge boards, etc.

13. Roof Cladding

13.1 Materials such as wood shingles, corrugated iron, or small rib corrugated fibre cement sheets may be used.

13.2 Metal and Fibre cement roofs must be painted to a colour approved by PPARC. **IBR sheeting may not be used.** Rain water gutters and downpipes should be provided to all roofs, with a controlled run off at ground level. If downpipes are not used an approved apron surround must be provided.

13.3 "Klip Lock" rib will only be allowed at PPARC discretion.

13.4 Steel Sheet Roof colour should be in the grey range between dove grey and charcoal.

13.4 Concealed down pipes are encouraged.

13.5 The following roof types and colours are allowed:

- Double Roman tiles
- Shingle tiles
- Slate Grey and Slate Yellow Rustic colours

14. Sewer Lines


14.1 All sewerage, water, electrical, telephone, and television service drops shall be underground.

14.2 For the convenience of owners and PPHOA rental program, a clearly marked valve should be located in an accessible location.

14.3 All external plumbing and pipe work on the façade must be enclosed in a duct or concealed in walls.

14.4 Plumbing should not be visible on outside of the house.

14.5 All sewer pipes and plumbing should be concealed in vertical ducts flush with the external walls. All electrical conduits, wiring, piping, etc. should be built into walls.

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15. Exterior Lights


- 15.1 Exterior light fixtures shall use light bulbs of 60 watts or less with energy saving lamps preferred.
- 15.2 Lights shall be placed so that they do not shine directly at neighbours.
- 15.3 All exterior fixtures shall be approved by the PPARC prior to installation.
- 15.4 All entries from streets or footpaths shall have at least one bollard light placed at the intersection of the path to the street or cartpath so that light is cast on both the street or cart path and the entry. This light shall be controlled by a photocell.

16. Air Conditioning

- 16.1 Air-conditioning compressors shall be screened or fenced so that they are not visible from the street, cart path or adjacent property and so that the sound transmission to neighboring properties is minimized and within the relevant standards.
- 16.2 All air-conditioning condensers should be installed at ground level not higher than 1.2m above finished floor level and must be screened off.
- 16.3 Window mounted units will not be allowed.
- 16.4 Positions to be indicated on plans at approval stage.

17. Aerials

- 17.1 All satellite dishes and TV aerials to be fitted below main building eaves line.
- 17.2 Aerials, roof fixtures, satellite dishes and solar panels must match the colour of the wall or roof if visible. No device may project above the ridge line of roof.
- 17.3 Position of satellite dishes should be shown on plan at approval stage and a final position to be indicated to PPHOA prior installation.
- 17.4 Generators should be housed underground and noise to be contained.

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18. Driveway surfaces

- 18.1 Every plot must have off-street parking for at least two cars in addition to garages. Driveways must be a maximum of 6m wide at road reserve.
- 18.2 Longer driveways may not be wider than 3m.
- 18.3 Driveways shall be constructed of either approved brick pavers or cobbles.
- 18.4 No tarred or cement surfaces allowed.
- 18.5 Grass blocks – refer to Landscaping guidelines

19. Advertisement signs


- 19.1 For Sale, Contractor, Architect, Real Estate, etc., other than those furnished by PPHOA, will not be allowed on erven. Exception: a single sign, no larger than 1metre square identifying the general contractor, only, will be allowed on erven under construction.
- 19.2 All houses must display plot numbers using 75mm to 100mm stainless steel numbers in a block-letter style. Numbers shall be placed on entry door post or header so as to be visible from the street or cart path.
- 19.3 The signage for plot numbers should be incorporated into approval drawings and conform to guidelines.
- 19.4 No signage on houses except Plot number shall be allowed.

20. Access to Units

Access to units in environmentally sensitive areas is by golf cart and cart path only and the use of private motor vehicles will not be permitted. Parking areas for private motor vehicles will be provided in the close vicinity of these units.

21. Fences

- 21.1 Fences will be allowed on approval by PPARC.
- 21.2 Any fences must be constructed in timber or fibre cement to an approved design.

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21.3 Swimming pool fencing will be as per PPARC approval.

NB: This code is the latest version of the document originally written in November 2002 which may be revised from time to time as conditions warrant.

PPARC - Revised October 2008