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**DESIGN ARCHITECTURAL GUIDELINES – REV2**

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Entabeni Farm Village  
on Erf 4015, Knysna.

**Dated: June 2021**

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# 1. INTRODUCTION

## 1.1. Introduction to Knysna

Entabeni Farm is situated in Knysna, a picturesque town in the heart of the Garden Route, South Africa. Knysna has a unique artistic and eco-friendly feel. It is here where artists, nature lovers and eco-enthusiasts come to plunge their talents into the town's character and feed the ambience of Knysna with inspiration and environmentally sustainable initiatives.

Visitors are drawn to this space, not only as a playground for the artistic community, but also for the holistic healing of the mind, body and soul. Knysna encourages you to slow down, breathe in the fresh air, revel in the natural surrounds and connect with its people and nature itself.

Knysna is built around a 21 square kilometre warm-water estuary, known as the Knysna Lagoon, a protected marine reserve and world heritage site, which is fed by the Knysna River. The estuary opens to the Indian Ocean after passing between two large headlands, popularly known as "The Heads". To the north of Knysna, temperate rainforest covers the hilly terrain for 20 km until changing to fynbos high in the Outeniqua Mountains.

The Knysna fires of 2017 caused devastation and destruction on a scale never seen before. The blaze crippled the Garden Route town, killed several people, destroyed more than 850 homes and caused extreme ecological damage. Knysna is still recovering and residents are slowly rebuilding their lives and their homes in the spirit of perseverance and hope.

The sense of place has totally changed with challenges that include bare landscapes, soil erosion and altered animal movement patterns. In addition, efforts are being made to eradicate the massive explosion of alien invasive plants such as Blackwood, Pines, Acacias and Blue Gums, which originally contributed to the fuel load of the fire.

While many challenges remain in the region, one of the primary missions of Knysna is the rehabilitation of indigenous vegetation, the stabilisation of the vulnerable topsoil to reduce land erosion, and ultimately contributing to the historic sense of space that Knysna is so well known for.

## 1.2. The Entabeni Farm Village Development

Erf 4015 set to become Entabeni Farm Village is situated to the east of the 'White Bridge' and the Knysna Lagoon, accessed via Welbedacht Ave. The property is located on the plateau directly east of the bridge. The N2 traverses along the southern boundary of the property and the existing Welbedacht Ave forms the border on the eastern side of the property. The expropriated future N2 bypass route crosses the property in its north eastern corner. The size of the property is 34.74ha

The central farmhouse on the property is situated on a hill 90 metres above the Knysna Lagoon.

Although the Knysna fires ravished the Farm, destroying many indigenous trees and natural fynbos, it has provided the opportunity of a fresh start to rehabilitate this piece of land and create a harmonious natural environment.

Approximately 40% of the property on the southern and western side is being dedicated to the protection and rehabilitation of the natural forest area and the shale fynbos which is home to the *Aloeides-almeida* (Almeida Copper) butterfly. This area or zone is to be known as "Entabeni Fields"

The philosophy for the Entabeni Farm Village Development on the remaining 60% of the property is the integration of indigenous vegetation and the existing small scale urban agricultural initiatives of vegetable and fruit growing, and goats, sheep and chickens roaming area with urban living in the heart of Knysna. This area is to be divided into two zones known as Entabeni Heights [large plots for single dwellings] and Entabeni Quarters [group housing].

This integration with the unique character of urban Knysna deserves sensitive consideration. This initiative should not only provide a beautiful landscape in which to live, but also create sustainable urban living which reduces the human carbon footprint and allows for seasonal produce to grow on the property.

### **1.3. Architectural Philosophy for Entabeni Farm Village Development**

The guiding principle for the Entabeni Development will be to integrate the natural eco-landscape with the architectural design and structure of the development. This will be done with integrity and in a sensitive and sustainable way. This development should create a symbiotic relationship between design, structure, community and nature.

The objective is to create memorable (unique) functional living spaces that enhance the sense of place, and is carefully integrated with its surrounding communities, respecting climate and natural resources.

Development along the Garden Route, especially post the Knysna fires of 2017, requires acute sensitivity to achieve and improve environmental restoration. The architectural recommendations will therefore interpret the natural space and ecosystem and provide clear and detailed guidelines for the overall architectural character. It will serve to minimise the visual and ecological impact of the development on the natural environment.

It is expected that architectural concepts will be developed within this framework. The introduction of foreign styles, for example “Tuscan” or “Georgian” will not be allowed. Architectural concepts should enhance the space, rather than impose on the area. Buildings will be designed around the shape and form of the natural topography, using natural materials and tones that complement the environment.

It is expected that all parties involved in this development support the architectural guidelines to create a sustainable, visually appealing space in harmony with the overarching philosophy.

### **1.4. Summary of Design Architectural Guidelines**

All architectural proposals for individual dwellings will be qualified, quantified and rated according to its visual and ecological impact before building may commence. The underlying principle of evaluation is to retain the natural beauty, engage with the natural topography and seamlessly integrate with the landscape.

The architectural guidelines are to be adhered to throughout the development of Entabeni Farm Village.

Architectural guidelines have been formulated for the different zones of the development, including:

- A. Entabeni Field: conservation area
- B. Entabeni Heights: large plots for single dwellings
- C. Entabeni Quarters: group housing

These zoning areas are shown in **Annexure 1: Land Use Diagram**.

## **1.5. Summary of Design Architectural Guidelines for each zone**

### **A. Entabeni Fields**

Entabeni Fields is a conservation area where the focus will be on restoring and conserving the natural indigenous landscape. The developer does reserve the right to build a small Chapel in this area, designed in such a way as to maintain the natural landscape. The Chapel is envisaged as a Green Roof building with a maximum height of 3 m.

To showcase the artistic philosophy of Entabeni Farm and to integrate with the creative flair of the Knysna community, artwork may be displayed in certain designated areas, provided that the indigenous vegetation is not altered or cleared.

To further integrate the Entabeni Farm Development with the Knysna landscape, an event platform and observation points with benches and bird-hives may be installed. Pedestrian walkways may be cleared to connect these areas and visual displays.

All designs and installations must be approved by the HOA and consultant architects.

### **B. Entabeni Heights**

40% of this area will remain a conservation area, with 60% allocated to the development, comprising of buildings, gardens and facilities.

The architectural style will be a contemporary interpretation of the landscape and the environment, expressed through fragmented building forms that follow the natural contour of the landscape, the use of natural or raw materials and natural grey or earth tones. The architectural lines will be simple, elegant and unembellished. Special

attention is paid to green initiatives that includes minimising the visual impact to compliment the environment rather than detract from it.

### **C. Entabeni Quarters**

Although Entabeni Quarters has no defined conservation area, the natural environment will be preserved to maintain a synergetic relationship between the architecture and the landscape.

Structures will express the landscape through buildings following the natural topography, fragmented building forms and the use of natural materials. All invasive vegetation will be removed and replaced with indigenous planting and non-native species (such as olives, macadamia nuts and roses) that will enhance the environment and benefit the urban agricultural initiatives.

### **1.6. Green Initiatives**

The architectural guidelines contain various eco-friendly and green initiatives that consist of the responsible use of energy and resources, including recycling during the construction process.

Green initiatives include: the installation of heat pumps; window glazing, solar glazing and dwellings to comply with SANS 10400 part XA; the collection of rainwater and diversion to storm water management ponds and retention dams and tanks, permeable surfaces, collection and re-use of grey water and sewerage, and waste municipal compliance.

## 2. DEFINITIONS

Unless inconsistent with the context, the following words as mentioned, and expressions shall have the meanings hereby assigned to them:

**Agriculture:** the cultivation of land for crops and plants and for the breeding of animals, or the operation of a game farm on an extensive basis on the natural veld or land; it includes only such activities and buildings, which are reasonably connected with the main farming activity on the farm.

**Architect:** an architect, registered with the South African Council of Architects or the Institute of South African Architects.

**Association or Home Owners Association (HOA):** the Management Association of the Entabeni Farm Village. It includes all committees, sub-committees and all management rules such as the code of conduct.

**Attic:** a space or room predominantly or completely inside of the roof space of a building. This is a service and/or storage space and may not be used for habitable purposes. Generally, the attic floor and the perimetral wall plate are level with each other. It is not included in the maximum floor area calculation and number of storeys.

**Basement:** means that portion of a building, the finished floor level of which is at least 2m below a level halfway between the highest and lowest natural ground levels immediately contiguous to the building; provided that only one basement per structure will be permitted and in any case such basement comply with the definition of a storey.

**Building:** in addition to the meaning assigned thereto, any structure or erection whatsoever, irrespective of its nature or size.

**Building Control Officer:** the person appointed by the Association, from time to time, to oversee compliance by the owners of their obligations in terms of the architectural and landscaping design guidelines.

**Building Line:** means the line delimiting the area measured from the boundary of an Erf within which no building or other structure, except a boundary fence; may be erected; provided that no fence shall be in excess of 1,2m height within the street building line area.

**Cadastral Boundaries:** the Erf boundary as indicated on the approved Site Plan and the Erf diagrams. This area will be pegged, but may not be fenced.

**Coverage:** means the total area, expressed as a percentage of an Erf, that may be covered by buildings measured over outside walls and covered by a roof or projection; provided that the area covered by the first meter (as measured from the outside of the exterior wall concerned) of an eave or other similar projection shall not be included in the calculation of the permissible coverage; provided further that covered parking is included under the meaning of coverage.

The Local Authorities reserve the right to include pergolas in the coverage calculation where these structures are deemed to have the potential to be enclosed.

**Committee:** the executive committee of the Association. It includes the Consultant Architects for any matter relating to the design architectural guidelines.

**Committee Member:** a member of the Committee.

**Common Property:** the accesses, roads, walkways, open areas, security perimeter fence and all buildings, features, improvements, facilities and services situated within the Village which are intended for the general use and benefit of the Members.

**Conservation Area:** the area demarcated as "A" on the zoning map and the areas in terms of the land use parameters set out under Clause 6.1.2 and 7.1.2 in these regulations shall apply notwithstanding the requirements stipulated in any particular land use zone.

**Construction:** in relation to a building mean –

- a) the erection, alteration, subdivision, conversion or addition to a building; and
- b) the reconstruction or restoration of a building that was completely or partially destroyed or demolished.

**Consultant Architects (CA):** architectural practice assigned by the committee to advise the in all architectural matters relating to the development, such as the evaluation and approval of all project submissions for new buildings in the property; the first being GLH Architects.

**Deed of Sale:** a binding document that specifies every agreement that has been made between a buyer and a seller of an Erf or property.

**Developer:** Axon Investment Services Pty Ltd – reg no 1999/001304/07

**Development:** the proposed housing development scheme to be established in respect of the subdivision of the Land, which shall be known as the Entabeni Farm Village and ‘Village’ shall have a corresponding meaning.

**Disturbance Area:** the area allowed for agricultural use or residential development, including the area covered by any floor of a dwelling as measured from the outer face of the exterior walls or similar supports of such dwelling including garages, storage and any other free-standing enclosed structures and covered spaces such as overhanging balconies, patios and verandas, and the area for uncovered patios, terraces and gardens.

**Dwelling House:** a building containing only one dwelling unit.

**Dwelling Unit:** means a self-contained interleading group of rooms with not more than one kitchen, used only for the living accommodation and housing of a single family, together with such outbuildings as are ordinarily used therewith.

**Environmental Control Officer (ECO):** an environmental officer appointed by the Environmental Liaison Committee (ELC) in terms of the National Environmental management Act (NEMA) in order to comply with the Record of Decision (ROD) or the Environmental Authorisation (EA) and with the Environmental Management Plan (EMP).

**Environmental Management Plan (EMP):** an environmental plan and/or programme created by the ELC and amended from time to time; dated in October 2016 and annexed to this document.

**Environmental Liaison Committee (ELC):** a committee appointed in terms of the National Environmental management Act (NEMA) in order to comply with the Record of Decision (ROD) or the Environmental Authorisation (EA).

**Erf:** any erf in the Village, but excluding the Common Property.

**Erf Diagram:** an Erf specific plan indicating all development control parameters in graphic form.

**Erven:** every Erf in the Village collectively but excluding the Common Property.

**Floor Area:** in relation to any building or structure means the area covered by a roof, slab or projection, excluding a projection not exceeding 1m over an exterior wall, provided that the area which is covered by a canopy or projection on the street side of a business building in the business zone and the local business zone shall not be regarded as floor space. Floor space shall be measured from the outside surface of the exterior walls of the building, and where a building or structure consists of one or more than one storey, the total floor space for the purposes of the definition of "maximum floor space" shall be the sum of the floor space of all the storeys, including that of a basement.

**Floor Area Ratio (FAR):** means the factor (expressed as a proportion or factor of 1) which is prescribed for the calculation of the maximum floor space of a building or buildings permissible on a land unit; it is the maximum floor space as a proportion of the net erf area where maximum floor space does not include a basement used for the parking of vehicles.

**Guidelines:** the architectural guidelines of the Association.

**Green Roof:** the roof of a building that is predominantly or completely covered with vegetation and a growing medium, planted over a waterproofing membrane. It may also include additional layers such as a root barrier and drainage irrigation systems.

**Group Housing:** means a group of separate and/or linked individual dwelling units which is planned, designed and built as an harmonious architectural entity which has a medium density character and with single or double storey units. The units may either be cadastrally subdivided or not.

**Group Housing Erf:** means a portion of land in a group housing zone which can be subdivided in a number of group erven with or without public or private street and/or open space.

**Height Restriction:** the measurement in metres above the natural ground level directly below a given point or portion of the building. It can also mean the maximum number of storeys permitted, the number of storeys being the multiple of 4m permitted in the height restriction.

**Local Authority:** the Knysna Municipality or its successors in title.

**Maximum Floor Area:** the total floor space which is allowed for a building or buildings on a site, such floor space is calculated by multiplying the floor factor with the net Erf area of a site or that portion of the site which is situated within the relevant zoning provided that where the erf is within two or more zones to which different floor factors apply, the maximum floor space for the whole site shall be the total of the maximum floor space for each portion of the site, provided further that for the purpose of determining the floor space of a building;

- a) any area, including a basement, which is reserved solely for the parking of vehicles, shall be excluded; and
- b) any part of the structure such as balconies, terraces, steps, staircases, verandas, communal corridors, irrespective of whether it is covered by a roof or not, shall be included.

**Net Erf Area:** the total area of a land unit excluding all land zoned for public purposes.

**Land:** Erf 4015, Knysna which is to be subdivided as the housing development scheme.

**Land Surveyor:** the registered professional responsible for collecting and/or demarcating topographical and cadastral data in the property land. The surveyor may also be requested to, after project approval, mark the project's key geometries locations in the terrain, ensuring the project realization matches precisely the approved models.

**Loft/Mezzanine:** a habitable additional space or room within the roof structure. It is considered an additional storey if the side walls extend above the finished floor level (i.e. if the floor level is below the roofs wall plate height), in which case the floor would be included in the maximum floor area calculation and number of storeys.

**Natural Ground Levels (NGL):** the levels documented on the existing contour survey annexed to this document and indicated on the Erf diagram. Any deviation is to be confirmed by a registered land surveyor.

**Open Space:** any open piece of land that is undeveloped (has no buildings or other built structures other than communal buildings) and is accessible to the public. In the case of conservation areas, it means the public areas such as walking paths, artwork display areas, etc.

**Outbuilding:** a structure, whether attached to or separate from the main unit, which is designed to be normally utilized for the housing of servants, for the garaging of motor vehicles and for storage purposes in so far as these uses are usually and reasonable required in connection with the main structure, but does not include second dwelling units.

**Owner:** the registered owner of any Erf in the Village.

**Parking Bay:** an area measuring not less than 5,5m by 2,5m which is clearly outlined and demarcated for the parking of one motor vehicle, and which is accessible to the satisfaction of the Council and which includes sufficient maneuvering space for vehicles to enter and leave the parking bays safely.

**Site Development Plan (SDP):** a graphic representation of the arrangement of buildings, parking, drives, landscaping and any other structure that is part of a development project. It is used by the Council to determine if the development proposal has been planned consistently with the local regulations.

**Storey:** a single level of a building, excluding a basement which does not exceed a height of 4m, measured from finished floor level to finished floor level or to the ceiling in the case of the top storey.

**Village:** Entabeni Farm Village

**Zone:** a portion of land which is indicated on the zoning map for a specific zoning, regardless of whether it embraces one or more land units or part thereof.

**Zoning:** a category of requirements that determines firstly the purpose for which the land must be used and secondly the land use restrictions that are applicable in terms of the specific land uses as required by these regulations.

**Zoning Map:** the map on which the different land use zones are indicated by means of color or monochrome notation.

### 3. NOTES

#### 1. General Notes

- 1.1. This document will form part of the Deed of Sale and will be administered and applied by the Committee.
- 1.2. The design criteria set out herein are in addition to Local Authority's building regulations.
- 1.3. This document must be interpreted in conjunction with Annex 2: Environmental Management Plan, as an implementation guideline for the construction stage.
- 1.4. The Developer and subsequently the Committee shall be entitled, in absolute discretion, to amend the Guidelines from time to time to preserve the architectural integrity and continuity of the development.
- 1.5. Copyright and right of reproduction are reserved by the Committee.
- 1.6. The Guidelines provide minimum standards only and compliance thereof does not necessarily render a building design acceptable.
- 1.7. The decision as to what is considered acceptable within the framework of the architectural concept is delegated to the Committee.
- 1.8. Styles of architecture not defined by the Guidelines will not be accepted. Only styles within the framework of the architectural style described and/or illustrated in this design manual may be erected in the Development.
- 1.9. Owners may be required to compromise on personal choices, such as paint colours and materiality, to contribute to the creation of a sensitive, low impact, high quality architectural development.
- 1.10. The present Guidelines apply for all new. Existing structures may be modified in attempt to soften aesthetics according to the present guidelines, if economically feasible.
- 1.11. Prior to the commencement of construction, the Owner must obtain from the HOA a list of requirements relating to the construction process and code of conduct.

1.12. The Developer shall ensure strict adherence to the 20m building line restriction along the proclaimed N2 reserve boundary.

## **4. PLAN APPROVAL**

### **1. General Conditions for Approval**

- 1.1. No building may be erected or altered without the approval of the Committee. This does not apply for internal amendments to existing buildings, provided the modifications do not compromise its structural and/or aesthetic integrity and to the approval of the Committee.
- 1.2. All plans for the construction of, or alteration of buildings must be prepared by a registered Architect.
- 1.3. Applicants shall formally apply for approval of plans in accordance with the national building regulations.
- 1.4. Prior to drawings being submitted to the Local Authority for approval, plans must first be submitted, approved and stamped by the Committee as per its specific requirements.
- 1.5. Prior to the commencement of the construction of any roofs, the Owner shall arrange for a Land Surveyor to measure the relevant Height Restrictions to verify that these do not exceed the heights as prescribed in the Guidelines and consequently the national building regulations. The owner shall then provide a copy thereof to the Building Control Officer and/or Local Authorities.
- 1.6. After construction of the dwelling is complete, the Owner shall obtain written confirmation from the Committee that the dwelling has been constructed in accordance with the approved plans and if applicable, any deviations as approved by the Committee, if so required. The Owner shall then provide a copy thereof to the Building Control Officer.
- 1.7. Deviations from the Guidelines may be discussed with the Committee for its consideration and waiver.

## 5. ZONING

### 1. Zoning

1.1. The site is divided into different zones that have specific architectural guidelines. The main zones are:

**A. Entabeni Fields:** conservation area, comprising of shale fynbos, forest and other naturally occurring vegetation.

**B. Entabeni Heights:** agricultural small holdings and large plots for single dwellings.

**C. Entabeni Quarters:** urban agricultural land and group housing.

**D. Hudson Manor House Entabeni Knysna:** the original farmhouse to be operated as a guest house.

1.2. These zoning areas are demarcated in **Annex 1 – Zoning Areas**.

## **6. ENTABENI FIELDS**

### **2. The Erf**

#### **2.1. Zoning**

2.1.1. This is a conservation area that shall be used predominantly as a contemplation area to appreciate the natural indigenous vegetation and breath-taking views.

2.1.2. Certain areas may be used for display of artwork with the Committee's approval.

#### **2.2. Disturbance and Conservations Areas:**

2.2.1. This is a 100% conservation area and must be preserved and un-altered, other than by certain minor installations that may be allowed as described below, with the consent of the Committee.

#### **2.3. Site Clearing and Planting:**

2.3.1. All site works that may affect the existing flora and/or fauna of the site must be guided by the Environmental Management Plan, Annex 2.

2.3.2. Alien vegetation is to be eradicated by the HOA.

#### **2.4. Building Form**

2.4.1. No building structures shall be erected in this zone above NGL, to ensure that the landscapes remained un-altered.

2.4.2. The Developer reserves the right to build one small Chapel. Such building shall be predominantly buried and have a Green Roof, not exceeding a Height Restriction of 3m in order not to alter the natural landscape and shall be situated an area where the impact to the landscape is minimum.

2.4.3. Artwork may be displayed at certain designated Open Spaces within this area. Those shall be designated by the Committee, to

ensure that the indigenous vegetation is not altered or if clearance is required, kept to a minimum.

2.4.4. Observation point platforms may be built provided that they comply with Clause (6)3.1.

2.4.5. Other larger platforms for events may be built with the Committee's consent.

2.4.6. A pedestrian walkway circuit may be built to connect the different artwork and observation points. The design of this circuit must have approval of the Committee.

2.4.7. Other architectural elements such as benches and light posts may be installed at certain locations. The design and location of these must have approval of the Committee.

2.4.8. Bird hides may be installed at strategic location points with the approval of a specialist consultant on the field.

## **2.5. Levels:**

2.5.1. The viewing platforms may provide flat levels to facilitate a comfortable space for its use. However, the levels shall be guided by the land's natural topography, avoiding cut and fill where feasibly possible. To the approval of the Committee.

2.5.2. Where the site permits platforms are to be fragmented into smaller volumes complimenting the topography of the site.

## **2.6. Plan Form:**

2.6.1. The design form of the architectural elements must compliment the natural landscape and not alter it.

## **2.7. Roof Form:**

2.7.1. No roofed structures shall be erected in this area, with the exception of the Chapel as described above.

2.7.2. Temporary tented structures may be erected for specific events above the events platforms with the Committee's approval.

2.7.3. Tented coverings may not be erected more than 25hs before an event and may must be removed 24hs after an event.

### **3. Design Controls**

#### **3.1. Walkways, viewing platforms and other architectural elements:**

3.1.1. The elements shall respond to the natural elements, materials and context and create an interface between architectural spaces and the environment.

3.1.2. The elements shall express and integration with the landscape and natural surrounds.

3.1.3. Heavily ornate elements are not permitted. Lines are to be kept simple and elegant.

#### **3.2. External Lighting:**

3.2.1. Generally, a "dark sky" policy applies within the estate.

3.2.2. Ambience lighting at observation points and along pedestrian pathways is permitted, provided that it complies with Clause (6)3.2.1 and it has a waterproofed design. To the approval of the Committee.

3.2.3. Spot lighting of artwork is permitted, provided that it complies with Clause (6)3.2.1 and it has a waterproofed design. To the approval of the Committee.

3.2.4. Skyward shining spot lights are not permitted.

### **4. Construction & Materials**

4.1. The use of natural materials such as stone and timber is encouraged.

4.2. Pathways and platform surfaces must be permeable.

4.3. Artworks may be constructed with other materials as preferred by the artist.

4.4. The colour scheme must respond to natural earthy pigments or grey tones. Please refer to **Annex 7: Colour Palette**.

## 7. ENTABENI HEIGHTS

**Entabeni heights includes erven in zone D, say for the existing Hudson Manor House Entabeni Knysna**

### 1. The Erf:

#### 1.1. Zoning and Land Use:

- 1.1.1. This area is zoned for Single Residential and Private Open Space purposes.
- 1.1.2. Land Uses in this area will be single residential and agricultural activities on the private open space areas.
- 1.1.3. Tourist accommodation may be allowed, in accordance with the applicable zoning by-laws of the local authority.

#### 1.2. Disturbance and Conservation Areas:

- 1.2.1. The maximum disturbance area is 60% with a limit of 1500 sqm; the remaining shall be conservation area. This area is established and demarcated in the Erf diagram annexed to the deed of sale.
- 1.2.2. A minimum 2% of the disturbance area shall be an agricultural allotment.
- 1.2.3. If the 60% of the plot area is above 1500 sqm, the remainder area above that number shall be an agricultural allotment.

#### 1.3. Coverage:

- 1.3.1. Unless otherwise stated on the erf diagram, the maximum coverage allowed is 30% of the Erf size.

#### 1.4. Building Lines:

- 1.4.1. The following building lines are to be strictly adhered to:
- 1.4.2. Road Frontages: 5m minimum to dwelling and/or garages
- 1.4.3. Lateral Boundary: 3m minimum
- 1.4.4. Rear Boundary: 3m minimum

- 1.4.5. All Erf Diagrams will have cadastral boundaries, building lines and extent to which the buildings may be located on the boundary indicated on them. These controls will assist in ensuring that the view lines and sunlight are not blocked and reducing the visual impact of the Development as a whole.
- 1.4.6. All buildings are to be located within the building lines demarcated on the Erf diagram annexed to the deed of sale.
- 1.4.7. The building lines are established in correlation with the allowed disturbance area, as specified on the erf diagram.
- 1.4.8. Vehicular access may be taken at one point only, and where this is indicated in the Erf diagram.
- 1.4.9. The nature of most Erfs at this area is one of steep gradients and it is therefore imperative that the land's topography is considered when designing each house. Buildings should fit comfortably into the natural contours and orientation of the site and should be stepped or terraced over the site.
- 1.4.10. No building may rest on free standing columns but must rest on a solid plinth.

#### **1.5. Erf Clearing and Planting:**

- 1.5.1. All site works that may affect the existing flora and/or fauna of the site must be guided by the Environmental Management Plan, Annex 2.
- 1.5.2. Alien vegetation is to be eradicated by the property Owner before construction commences.
- 1.5.3. Indigenous species within the allowed disturbance areas are encouraged to be maintained surrounding building footprints, with its removal and damage to be minimalised.
- 1.5.4. No indigenous trees having diameter larger than 100mm in the area designated to be disturbed will be permitted to be removed without written consent of the Committee.
- 1.5.5. If requested so by the Committee, any such trees to be removed from an erf shall be replaced with a like specimen at the Owners' cost.

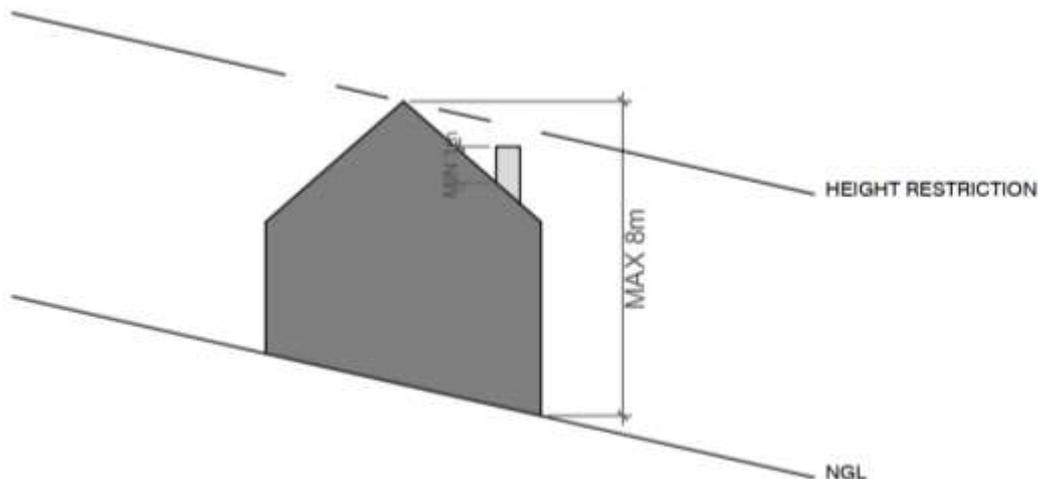
- 1.5.6. All new planting within the Erf's shall follow the guidelines established in Annex 3: Proposed New Landscape.

## 2. Building Form

It is intended that the architecture of the Village be harmonious and of human scale, avoiding unnecessarily large building forms. Large building forms shall be broken up into smaller well-defined components. The size, proportion and placement of buildings must take cognisance of the land's environmental conditions.

### 2.1. Height:

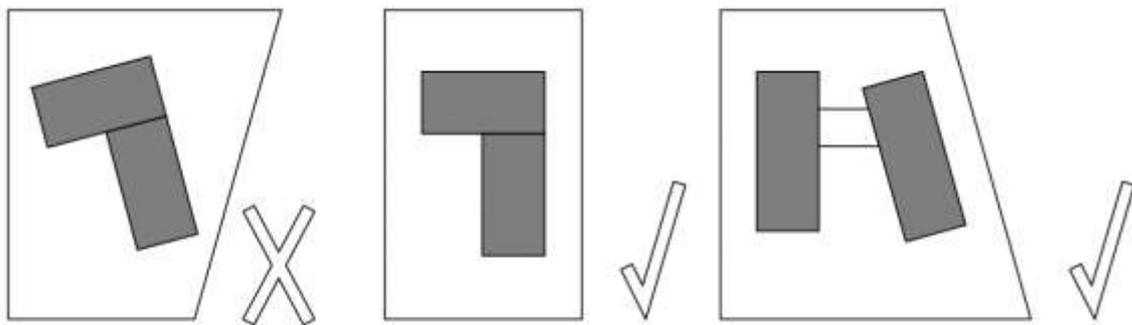
- 2.1.1. No building shall exceed 2 storeys in height above natural ground level (NGL) at any point, in order to reduce the visual impact of the development.
- 2.1.2. No building shall exceed 8m in height above NGL at any point.
- 2.1.3. Chimneys shall project above the roof plane by a minimum of 1m measured from the roof's highest point in contact with the chimney and shall be positioned within the prescribed height restriction.



### 2.2. Plan form:

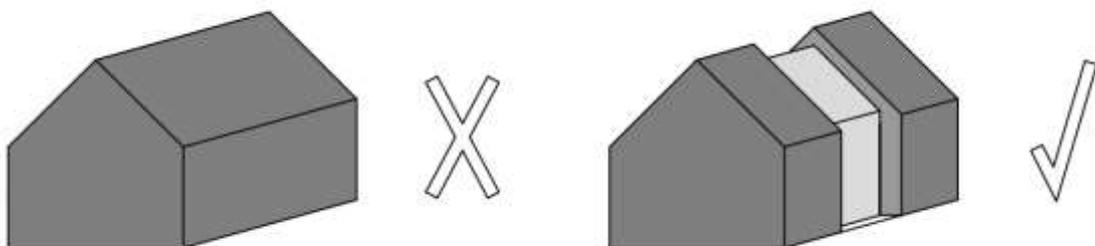
- 2.2.1. The plan form of the building must result from the combination of simple rectangular and/or square articulated plan forms. This principle must be applied in all aspects and dimensions of the architectural design and must be clearly legible.

- 2.2.2. Building forms not comprising of simple rectangular forms will not be permitted. Not allowed: circles, triangular or hexagonal forms.
- 2.2.3. No second dwellings or granny flats allowed, unless they are integrated to the architectural composition.
- 2.2.4. In the case of rectangular plots, the built form must preferably run parallel to the Street boundary to respond to the streetscape while also providing privacy. All building forms must preferably run at 90 degrees to each other, if they are not parallel to boundaries. Angled forms will be allowed based on the merit of the design.
- 2.2.5. In the case of oddly shaped erven the built form can run parallel to one of the side boundaries.



### 2.3. Massing:

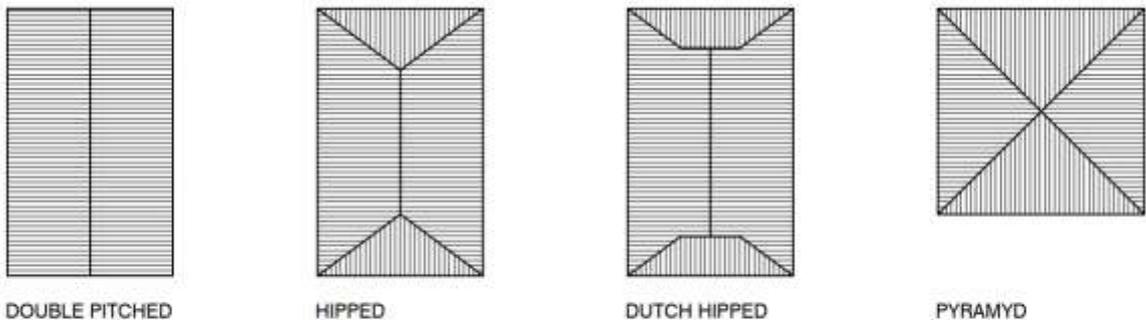
- 2.3.1. The built form should be fragmented, avoiding a harsh massing. This fragmentation can be achieved by means of articulating simple geometrical forms into one composition. Monolithic building masses won't be allowed.



2.3.2. The building elements should be related to each other in proportion and scale. All components should be relatively in the same proportions to each other. A specific proportioning system will not be enforced, but proportions will have to be clearly defined and legible. Vertical and horizontal proportions should be either square or rectangular in shape.

## 2.4. Roof form:

2.4.1. The roof form of buildings should be predominantly pitched in traditional styles, simple double pitched, pyramid, hipped and half-hipped. Roof pitches must be consistent, and peaks must be symmetrical.



2.4.2. Overhangs must not exceed 750mm; overhangs are however discouraged as they are not keeping with the architectural language of Entabeni Quarters.

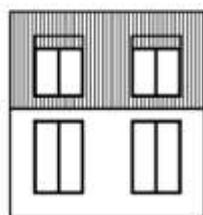
2.4.3. The maximum gradient of pitched roofs is limited to 35 degrees with a minimum of 20 degrees.

2.4.4. No parapets will be allowed for pitched roofs.

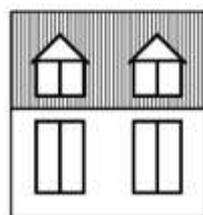
2.4.5. Gable walls are not encouraged but they may be allowed depending on the merit of the design. They shall be simple non-ornamental forms and include windows and/or façade recesses in their design to avoid solid flat planes. Landscaping near gable walls will be encouraged to soften the architecture.

2.4.6. Roofs may not be domed, vaulted, arches or free form.

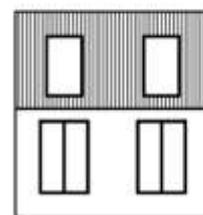
- 2.4.7. Flat concrete roofs may be used if paved as outdoor terraces or planted. But a maximum of 30% of the total roof area may be flat roofed; the remainder must be pitched.
- 2.4.8. Larger roof forms are to be fragmented into components to achieve a lower visual impact. Visually heavy, unarticulated and expansive roofs will not be permitted.
- 2.4.9. Dormers such as mansard and gabled types may be allowed, provided they are proportionally aligned with nearby windows to maintain harmony in the façade design. Subject to the approval of the Committee.
- 2.4.10. Other dormer forms may be allowed subject to the approval of the Committee.
- 2.4.11. Roof lights may be allowed, provided that they are set in the plane of the roof and proportionally aligned with nearby windows to maintain harmony in the façade design. Subject to the approval of the Committee.
- 2.4.12. No dome roof lights are allowed.



MANSARD DORMER



GABLED DORMER



FLUSH MOUNTED ROOF LIGHT

- 2.4.13. Solar panels may be allowed, provided that they are set following the plane of the roof and their positioning is integrated with the façade design. To the approval of the Committee.
- 2.4.14. Where applicable, roofs shall be oriented to best receive sunlight for Solar geyser and domestic solar panels, provided that they comply with the clauses stated in section 9 of this document.
- 2.4.15. No turrets, spires and/or decorative roof features are permitted.

### **3. Design Controls**

#### **3.1. General Building Style:**

- 3.1.1. The architectural style shall be a unique contemporary style influenced by the distinct character of the site.
- 3.1.2. The architecture shall respond to the natural elements and context and create an interface between architectural spaces and the environment.
- 3.1.3. Prefabricated homes will not be permitted unless prior approval from Committee has been granted.
- 3.1.4. The architectural style may not be Tuscan, Mediterranean or other such replica styles.
- 3.1.5. Heavily ornate architecture is not permitted. Lines are to be kept simple and elegant, with structures contemporary.

#### **3.2. Facade Design:**

- 3.2.1. Facades are encouraged to be articulated and setback to avoid the creation of flat, continuous facades in order to reduce the visual impact of the Village.
- 3.2.2. It is encouraged that facades are visually broken up with large trees placed in front to ensure the architecture integrates with the landscape.

#### **3.3. Balconies and Balustrades:**

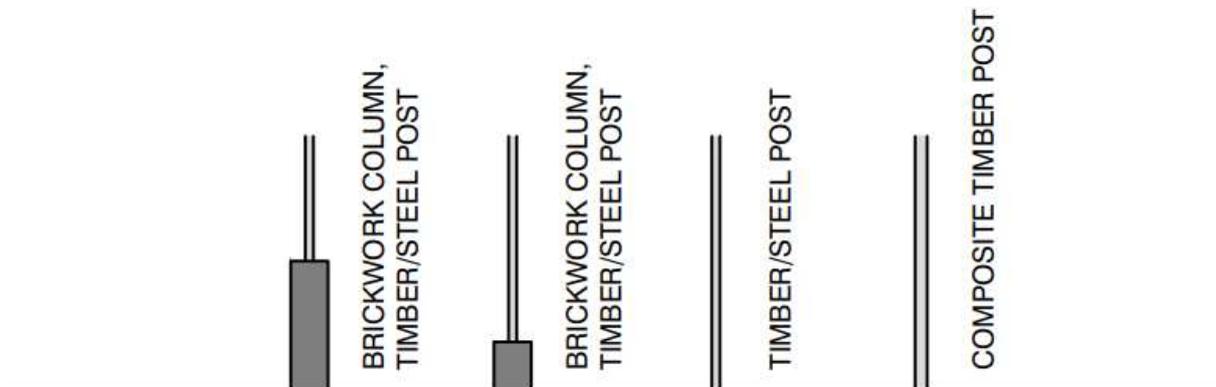
- 3.3.1. Balconies and terraces shall be placed in such a way that the privacy of neighbouring homes is not compromised.
- 3.3.2. Enclosing of balconies/terraces is not allowed.
- 3.3.3. Balustrades shall be of simple design. No ornate balustrade shall be allowed.

#### **3.4. Windows and Doors:**

- 3.4.1. Excessively large glass areas are to be avoided.
- 3.4.2. Glazed areas wider than 2.4m should be protected under a roof overhang or pergola of at least 1.5m and extending a minimum of 0.5m on either side.

- 3.4.3. The proportion and style of windows should be consistent throughout the facades of the building.
- 3.4.4. Windows and doors should form individual openings in the dominant wall plane and not exceed a maximum 70% of the wall area elevation.
- 3.4.5. It is encouraged that the windows have a vertical rectangular form in order to keep the historic proportions of farm buildings.
- 3.4.6. The installation of Spanish (external) burglar bars, "trelidor" or other such concertina security gates is not permitted.
- 3.4.7. Installation of burglar bars integrated into the fenestration design may be permitted provided they are as unobtrusive as possible.
- 3.4.8. Shutters are permitted but they must be functional. Subject to the approval of the Committee.
- 3.4.9. Windows should generally be:
- Generally taller on the ground floor, shorter on the first floor.
  - The same height at the same level throughout the same storey.
  - Of the same width in vertical succession, line up above each other.
  - Placed not closer than 460mm from an external corner of the building, unless a corner window is proposed and in such case it shall be to the approval of the Committee.
  - In order to create large glazed areas, vertically rectangular windows can be joined together.
- 3.4.10. Columns:
- 3.4.10.1.1. Columns, piers and supports to verandas or external structures are to be of a simple design and functional. No ornate, fluted or decorative columns will be permitted.
- 3.4.10.1.2. The following columns are permitted and further designs shall be discussed with the Committee:

- Rectangular or round timber or painted steel supports
- Rectangular or round composite timber supports.
- Maximum 460x460mm brickwork columns or piers.



### 3.5. Landscaping:

3.5.1. The natural character of this area must be preserved, and alterations reduced to a minimum. Within the conservation areas, existing indigenous planting may be cleared only where required for vehicular and pedestrian access, with the consent of the Committee. The design of roads and pathways within the Erf must be done with the principle of preserving as many indigenous trees as possible.

3.5.2. Landscaping within the cadastral boundaries of an erf:

- The landscaping style shall be non-formal/non-geometrical, to merge with the natural character of the area.
- The Owner must submit a proposed landscape plan to the committee for written approval.
- After the written approval of the planting plan has been obtained from the association, the Owner may undertake the planting and maintenance of these areas.
- Planting is to be used to screen utility areas from neighbouring properties.

3.5.3. Landscaping within open public areas:

- The developer will plant the following species relating to the public open areas:

- Fruit, nuts, vines, olives, berries and roses will be planted on the road verges.
- -Indigenous vegetation will be planted on the areas bordering the back of the plots.
- The HOA must provide and maintain an irrigation system to water the open spaces from the dam water reserves and recycled water.

### **3.6. Exterior Site Elements:**

#### 3.6.1. Driveways & Parking:

- Driveways must be positioned in accordance with the stand services and contour diagram for the stand concerned.
- Driveways must be constructed from the same paving material as on the street from which such driveway access is gained.
- Driveways will be a maximum of 6m wide.
- Any parking areas on a stand and pathways related to a stand which are visible from the street must be constructed from the same material as the driveway to such stand.
- At least 2 parking bays shall be provided per residential unit within the designated disturbance area of the plot.
- No carports allowed unless articulated with the architecture of the dwelling.
- Sidewalks paving finish may not be changed and may not be used for parking.

### **3.7. Site Walls and Fences:**

3.7.1. The nature of the village is one of a fluid open space, where homes are not isolated by continuous walls.

3.7.2. The use of vegetation is encouraged for the purposes of visual screening from neighbours.

3.7.3. Boundary walls and/or fences shall be permitted only limited to the allowed disturbance area and within the

building lines, provided that they are integrated with the architecture and of a simple non-ornamental design. Subject to the approval of the Committee.

3.7.4. Electrical fencing is not permitted.

3.7.5. Retaining walls and plinths may only be constructed from natural stone or plastered and painted brickwork, as per the approved colour scheme.

### **3.8. House numbers, intercoms and post boxes:**

3.8.1. Each stand will be allocated a number as per the council's numbering system.

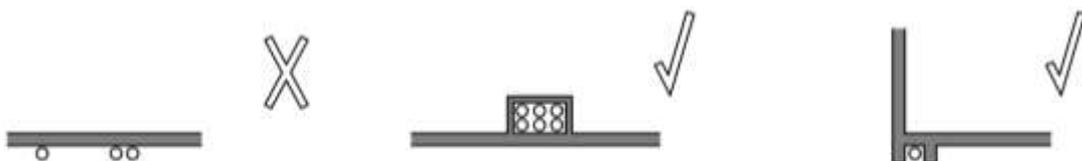
3.8.2. The numbers must be constructed from powder coated aluminium within a grey colour scheme and may not exceed a height of 300mm. Fonts to be simple such as Helvetica, Century gothic, or similar. Proposed design to be presented for approval along with architectural plans.

3.8.3. No individual intercoms and/or post boxes are allowed. A general intercom connected the owner's cell phones and an automatic gate system will be implemented for the main access gate. Remote controls will be provided by the HOA for each Owner.

### **3.9. Services:**

3.9.1. Downpipes and Plumbing Pipes:

- Gutters, downpipes and plumbing pipes must be concealed.
- Non concealed storm water downpipes pipes may be allowed provided that they are encased and integrated with the façade's design and painted in the same colour of the external wall to which they are attached to.



### 3.9.2. Rubbish and refuse areas:

- Dustbins and refuse containers are to be screened of the view and integrated into the dwelling's architecture, to the HOA and consultant architect's approval.
- Separation of recycling and non-recycling waste to be undertaken at source according to the HOA specifications (e.g. colour bags etc).
- There will be a designated refuse facility in the village and the HOA shall establish a system to collect the refuse from each dwelling and take it to this facility.
- Service yards including washing lines must be integrated to the architecture and visually screened off from public view.
- All external service yards must have a gully and external tap at the lowest point.

### **3.10. Air conditioners, satellite dishes and generators:**

- 3.10.1. Air conditioners are permitted provided that they are connected to the municipal's electrical supply.
- 3.10.2. Window mounted air conditioners are not permitted.
- 3.10.3. Wall mounted air conditioners are permitted provided that the compressors are mounted at ground level and have screening that is a minimum of 300mm higher than the compression unit and that such units are not visible from the street. Adequate measures are to be taken to eliminate noise pollution from such compressors.
- 3.10.4. Satellite television dishes are permitted provided they are in accordance with the types normally required for South African television reception and where possible they should not be visible from the street.
- 3.10.5. Generators are not permitted. Solar systems must be grid tied and all council and government statutory requirements must be met.

### **3.11. Other Screened Elements:**

3.11.1. Washing lines, storage areas, pet accommodation / kennels, boats, caravans, trailers or derelict vehicles must be screened from the open public space and integrated into the architecture of the dwelling.

### **3.12. Swimming pools and water features:**

3.12.1. Discharge pipes from swimming pools or water features must not discharge water directly onto any street, sidewalk or adjacent stand and such discharge must be dealt with in terms the council's regulations.

3.12.2. Filtration equipment and motors must be screened from view and must be protected in such a way as to prevent noise pollution. The system must be connected to a Distribution Board.

### **3.13. External lighting:**

3.13.1. Generally, a "dark sky" policy applies within the estate.

3.13.2. Flood lighting or spotlighting of the external walls is discouraged. If external lights are fitted to any dwelling, such lights must be bulkhead type and positioned to minimize light overflow to neighbouring stands.

3.13.3. Spotlights shining beyond the boundaries of a stand are not permitted.

3.13.4. Skyward shining spotlights are not permitted.

3.13.5. Street lighting will be provided and regulated by the HOA.

## **4. Construction & Materials**

### **4.1. General Colour Scheme:**

4.1.1. The palette of colours should be subtle colours accented in-between with darker hues to give depth and fragmentation of the building mass.

4.1.2. It is suggested that the darker tones are applied to the roofs and lighter tones to the walls.

4.1.3. It is recommended to have some feature walls with darker tones to avoid large mono tone areas.

4.1.4. Natural earthy soft tones and grey tones are allowed, to the approval of the Committee.

4.1.5. An approved colour palette shall be provided by the Committee to the Owner for its reference. Please refer to **Annex 7: Colour Palette**.

#### 4.2. Roofs:

4.2.1. The following roof materials are not permitted: thatch, terracotta or clay tiles, IBR or corrugated sheeting other than those specified below.

4.2.2. The following roof materials are permitted: mazista slate, zincalume, brownbuilt and kilplock (700 profile) sheeting, rheinzink, chromadeck sheeting. The permitted colours are cape charcoal, armour grey, dove grey or shale grey or similar.

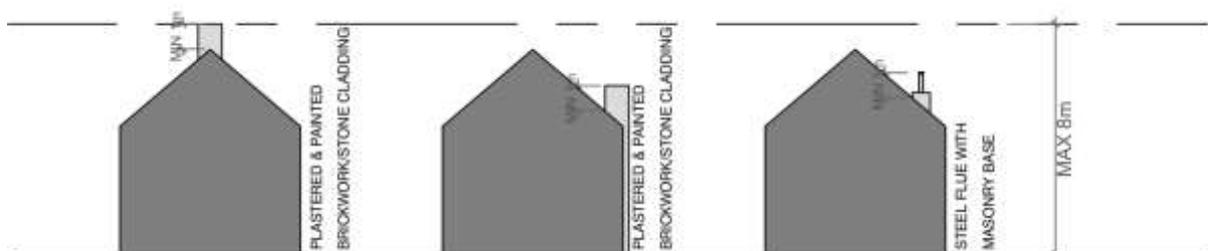
4.2.3. Seamless powder coated aluminium or Chromadeck gutters and downpipes are recommended. To be compliant with Clause (7)3.9.1.

#### 4.3. Chimneys:

4.3.1. Forms must be of a simple design.

4.3.2. Chimneys may be fully cladded with natural stones or plastered to the same specifications as the walls.

4.3.3. Steel flues with cowls are allowed provided that they emerge from a masonry base (plastered and painted).



#### 4.4. Skylights:

4.4.1. Coloured or reflective materials are not permitted.

#### 4.5. External Walls:

- 4.5.1. The use of raw natural materials is encouraged.
- 4.5.2. Rough or bagged plaster and paint finishes are permitted.
- 4.5.3. Primary, secondary, richly pigmented, gloss or metallic paints are not permitted for use in the estate.
- 4.5.4. Stone and/or timber cladding is permitted provided that it presents a harmonic balance with the remaining materials of the façade.
- 4.5.5. The following stone cladding finishes are permitted: natural stone, Minaco stone, Naboomspruit sandstone. Similar natural stone finishes would be considered by the Committee.
- 4.5.6. Highly polished stone cladding or marble cladding are not permitted.
- 4.5.7. Timber cladding should be treated and maintained with sealant oil or matt varnishes to preserve its quality.
- 4.5.8. To be in accordance with SANS 10400.

#### **4.6. Windows and Doors:**

- 4.6.1. To be in accordance with SANS 10400 part XA. Where glazing does not comply, solar glazing and rational design are to be applied.
- 4.6.2. Dark tinted, coloured and/or reflective glass is not permitted.
- 4.6.3. Windows to be UPVC, powder coated aluminium or Timber frame.
- 4.6.4. Garage doors shall be powder coated aluminium or solid timber and of simple design. No ornate panel doors are permitted.
- 4.6.5. Shutters may be timber or epoxy coated aluminium.

#### **4.7. Samples:**

- 4.7.1. To obtain the Committee's approval, the Owner shall present material samples for inspection to determine compliance with the Guidelines.

## 8. ENTABENI QUARTERS

### 1. The Erf

#### 1.1. Zoning and Land Use:

- 1.1.1. This area is zoned for group housing and private open space
- 1.1.2. Entabeni Quarters shall be predominantly utilised for group housing purposes, with agricultural activities on the private open space area.

#### 1.2. Disturbance and Conservation Areas:

- 1.2.1. For this zone there is no defined conservation area. The allowed disturbance area is demarcated in the Erf diagram annexed to the deed of sale.

#### 1.3. Coverage:

- 1.3.1. Unless otherwise stated on the erf diagram, the maximum coverage allowed is 50% of the erf.

#### 1.4. Building Lines:

- 1.4.1. The building lines are as follows:
  - -Street building line: 0m
  - -Lateral building line: 0m; 3m when bordering another zone
  - -Rear building line: 0m; 3m when bordering another zone
- 1.4.2. All Erf diagrams will have cadastral boundaries, building lines and extent to which the buildings may be located on the boundary indicated on them. These controls will assist in ensuring that the view lines and sunlight are not blocked and reducing the visual impact of the development as a whole.
- 1.4.3. Vehicular access may be taken at one point only, and where this is indicated in the Erf diagram.

## 1.5. Topography:

1.5.1. The nature of the site is one of steep gradients and it is therefore important that the site topography be taken into account when designing the dwellings.

## 1.6. Erf Clearing and Planting:

1.6.1. All site works that may affect the existing flora and/or fauna of the site must be guided by the Environmental Management Plan, Annex 2.

1.6.2. Invasive alien vegetation is to be eradicated by the Developer before construction commences.

1.6.3. New planting shall follow the guidelines established in Annex 3 – Proposed New Landscape.

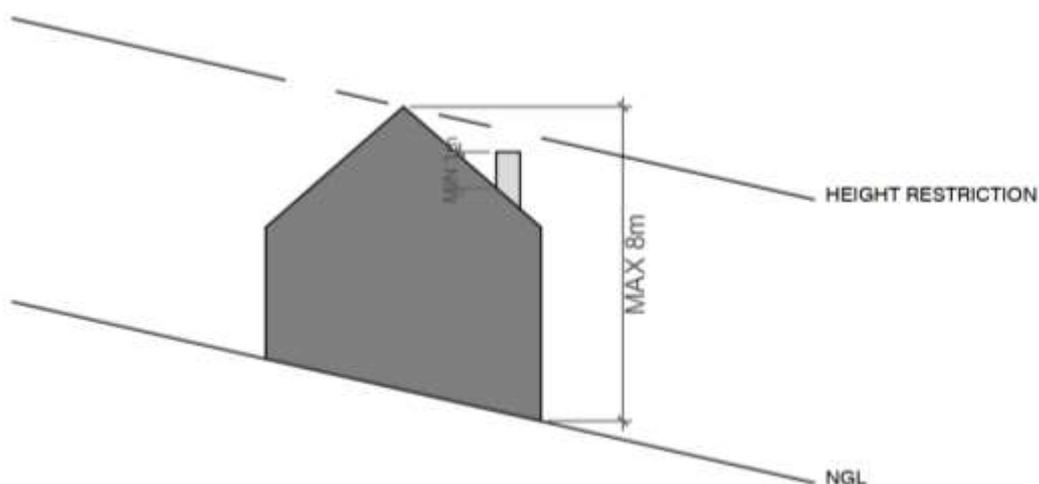
## 2. Building Form

### 2.1. Height:

2.1.1. No building shall exceed 2 storeys in height above natural ground level (NGL) at any point, in order to reduce the visual impact of the development.

2.1.2. No building shall exceed 8m in height above NGL at any point.

2.1.3. Chimneys shall project above the roof plane by a minimum of 1m measured from the roof's highest point in contact with the chimney and shall be positioned within the prescribed height restriction.



## **2.2. Plan Form:**

- 2.2.1. The plan form of the building must result from the combination of simple rectangular and/or square articulated plan forms.
- 2.2.2. Building forms not comprising of simple rectangular forms will not be permitted. Not allowed: circles, triangular or hexagonal forms.

## **2.3. Massing:**

- 2.3.1. The building elements should be related to each other in proportion and scale. A specific proportioning system will not be enforced, but proportions will have to be clearly defined and legible.

## **2.4. Roof form:**

- 2.4.1. The roof form of buildings should be predominantly pitched in traditional styles, simple double pitched, pyramid, hipped and half-hipped.
- 2.4.2. The maximum gradient of pitched roofs is limited to 35 degrees with a minimum of 20 degrees.
- 2.4.3. No parapets will be allowed for pitched roofs.
- 2.4.4. Gable walls may be allowed as long as they are simple forms include windows and/or façade recesses in their design to avoid solid flat planes. Landscaping near gable walls will be encouraged to soften the architecture.
- 2.4.5. Roofs may not be domed, vaulted, arches or free form.
- 2.4.6. Flat concrete roofs may be used if paved as outdoor terraces or planted. But a maximum of 30% of the total roof area may be flat roofed; the remainder must be pitched.
- 2.4.7. Larger roof forms are to be fragmented into components to achieve a lower visual impact.
- 2.4.8. Other dormer forms may be allowed subject to the approval of the Committee.
- 2.4.9. No turrets, spires and/or decorative roof features are permitted.

2.4.10. The Owner may not change or alter in the roof design of its residential unit in any way.

### **3. Design Controls**

#### **3.1. General Building Style:**

- 3.1.1. The architectural style shall be a unique contemporary style influenced by the distinct character of the site.
- 3.1.2. The architecture shall respond to the natural elements, materials and context and create an interface between architectural spaces and the environment.
- 3.1.3. Prefabricated homes will not be permitted unless prior approval from the Committee has been granted.
- 3.1.4. The architectural style may not be Tuscan, Mediterranean or other such replica styles.
- 3.1.5. Heavily ornate architecture is not permitted. Lines are to be kept simple and elegant, with structures contemporary.

#### **3.2. Facade Design:**

- 3.2.1. Enclosing of balconies/terraces is not allowed.
- 3.2.2. The Owner may not alter the architecture or change the façade's finishes and/or colours.
- 3.2.3. The Owner may not do any extensions and or alterations to the unit.
- 3.2.4. Some minor internal alterations may be considered by the Committee, provided they do not compromise the architectural style or structure of the building.

#### **3.3. Landscaping:**

- 3.3.1. The natural character of this area must be preserved, and alterations reduced to a minimum. Existing indigenous planting may be cleared only in areas required for vehicular and pedestrian access or within the conservation areas, with the consent of the Committee. The design of roads and pathways must be done with the principle of preserving as many indigenous trees as possible.

### 3.3.2. Landscaping within the boundaries of a stand:

- Owners can determine their own planting style either formal or informal or a mixture of the two.
- The owner must submit a proposed landscape plan to the committee for written approval.
- After the written approval of the planting plan has been obtained from the Committee, the Owner may undertake the planting of these areas.

### 3.3.3. Landscaping within open public areas:

- The developer will plant the following species relating to the public open areas:
  - Fruit, nuts, vines, olives, berries and roses will be planted on the road verges.
  - Indigenous vegetation will be planted on the scapes bordering the back of the plots.
- The HOA must provide and maintain an irrigation system to water the open spaces from the dam water reserves and recycled water.

## **3.4. Exterior Site Elements:**

### 3.4.1. Driveways & Parking:

- Driveways must be positioned in accordance with the stand services and contour diagram for the stand concerned.
- Driveways must be constructed from the same paving material as on the street from which such driveway access is gained.
- Driveways will be a maximum of 6m wide.
- Any parking areas on a stand and pathways related to a stand which are visible from the street must be constructed from the same material as the driveway to such stand.
- At least 1 parking bays per bedroom shall be provided per residential.

- No carports allowed unless articulated with the architecture of the dwelling.
- Sidewalks paving finish may not be changed and may not be used for parking.

#### 3.4.2. Site Walls and Fences:

- The nature of the Village is one of a fluid open space, where homes are not isolated by continuous walls.
- Boundary walls will be provided by the Developer between neighbouring adjacent units. The Owner may not enclose further areas with boundary walls.
- Fencing to prevent pets to escape the unit's yard may be installed at the designated area in the Erf diagram. To the approval of the committee.
- Electrical fencing is not permitted.

#### 3.4.3. House numbers, intercoms and post boxes:

- Each stand will be allocated a number as per the council's numbering system.
- The provided numbering cannot be altered or removed.
- No individual intercoms and/or post boxes are allowed. A general intercom connected to the Owner's cell phones with an automatic gate system will be implemented for the main access gate. Remote controls will be provided by the HOA for each Owner.

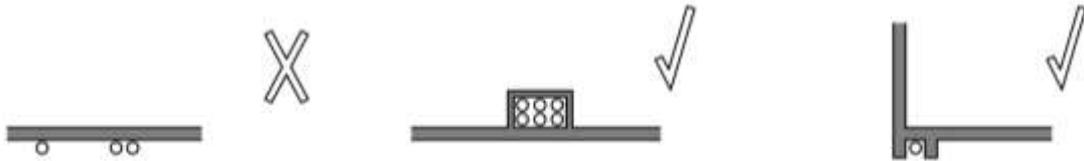
### **3.5. Services:**

#### 3.5.1. Gutters, downpipes and plumbing pipes:

- Gutters, downpipes and plumbing pipes must be concealed.
- Non concealed storm water down pipes may be allowed provided that they are encased and integrated with the façade's design and painted

in the same colour of the external wall to which they are attached to.

- The Owner may not do any plumbing installations that affect the exterior architectural design of the building.



#### 3.5.2. Rubbish and refuse areas:

- Dustbins and refuse containers are to be screened of the view and integrated into the dwelling's architecture, to the Committee's approval.
- Separation of recycling and non-recycling waste to be undertaken at source according to the HOA's specifications (e.g. colour bags etc.).
- There will be a designated refuse facility in the village and the HOA shall establish a system to collect the refuse from each dwelling and take it to this facility.

#### 3.5.3. Air conditioners, satellite dishes and generators:

- Air conditioners are not permitted.
- Satellite television dishes may be permitted provided they are in accordance with the types normally required for South African television reception and where possible they should not be visible from the street. To the approval of the Committee.
- Generators are not permitted. Solar systems must be grid tied and all council and government statutory requirements must be met.

#### 3.5.4. Other Screened Elements:

- Washing lines, storage areas, pet accommodation / kennels, boats, caravans, trailers or derelict vehicles must be screened from the open public.

#### 3.5.5. Swimming pools and water features:

- Individual swimming pools are not permitted.
- A common swimming pool will be provided within the open public areas in the development.

#### 3.5.6. External lighting:

- Generally, a “dark sky” policy applies within the estate.
- No additional lighting may be added to the external areas other than the fittings provided by the developer without prior consent of the Committee.
- Spotlights shining beyond the boundaries of a stand are not permitted.
- Skyward shining spotlights are not permitted.
- Street lighting will be provided and regulated by the HOA.

## **4. Construction & Materials**

### **4.1. General Colour Scheme:**

- 4.1.1. The palette of colours should be subtle colours accented in-between with darker hues to give depth and fragmentation of the building mass.
- 4.1.2. It is suggested that the darker tones are applied to the roofs and lighter tones to the walls.
- 4.1.3. It is recommended to have some feature walls with darker tones to avoid large mono tone areas.
- 4.1.4. Natural earthy soft tones and grey tones are allowed, to the approval of the Committee.
- 4.1.5. The Developer reserves the right to change the colour palette in the future.

- 4.1.6. An approved colour palette shall be provided by the Committee to the Owner for its reference. Please refer to **Annex 7: Colour Palette**.

#### **4.2. Roofs:**

- 4.2.1. The following roof materials are not permitted: thatch, terracotta or clay tiles, IBR or corrugated sheeting other than those specified below.
- 4.2.2. The following roof materials are permitted: mazista slate, zincalume, brownbuilt and kilplock (700 profile) sheeting, rheinzink, chromadeck sheeting. The permitted colours are cape charcoal, armour grey, dove grey or shale grey or similar.

#### **4.3. Skylights:**

- 4.3.1. Coloured or reflective materials are not permitted.

#### **4.4. External Walls:**

- 4.4.1. The use of raw natural materials is encouraged.
- 4.4.2. Rough or bagged plaster and paint are permitted.
- 4.4.3. Primary, secondary, richly pigmented, gloss or metallic paints are not permitted for use in the estate.
- 4.4.4. Stone and/or timber cladding is permitted provided that it presents a harmonic balance with the remaining materials of the façade.
- 4.4.5. The following stone cladding finishes are permitted: natural stone, Minaco stone, Naboomspruit sandstone. Similar natural stone finishes would be considered by the Committee.
- 4.4.6. Highly polished stone cladding or marble cladding are not permitted.
- 4.4.7. Timber cladding should be treated and maintained with sealant oil or matt varnishes to preserve its quality.
- 4.4.8. To be in accordance with Sans 10400.

- 4.4.9. To be in accordance with SANS 10400 part XA. Where glazing does not comply, solar glazing and rational design are to be applied.
- 4.4.10. Dark tinted, coloured and/or reflective glass is not permitted.
- 4.4.11. Windows to be UPVC or Timber frame. To later Specification.
- 4.4.12. The installation of Spanish (external) burglar bars, 'trellidor' or other such concertina security gates is not permitted.
- 4.4.13. Installation of burglar bars integrated into the fenestration design may be permitted provided they are as unobtrusive as possible.
- 4.4.14. Garage doors shall be powder coated aluminium or solid timber and of simple design. No ornate panel doors are permitted.

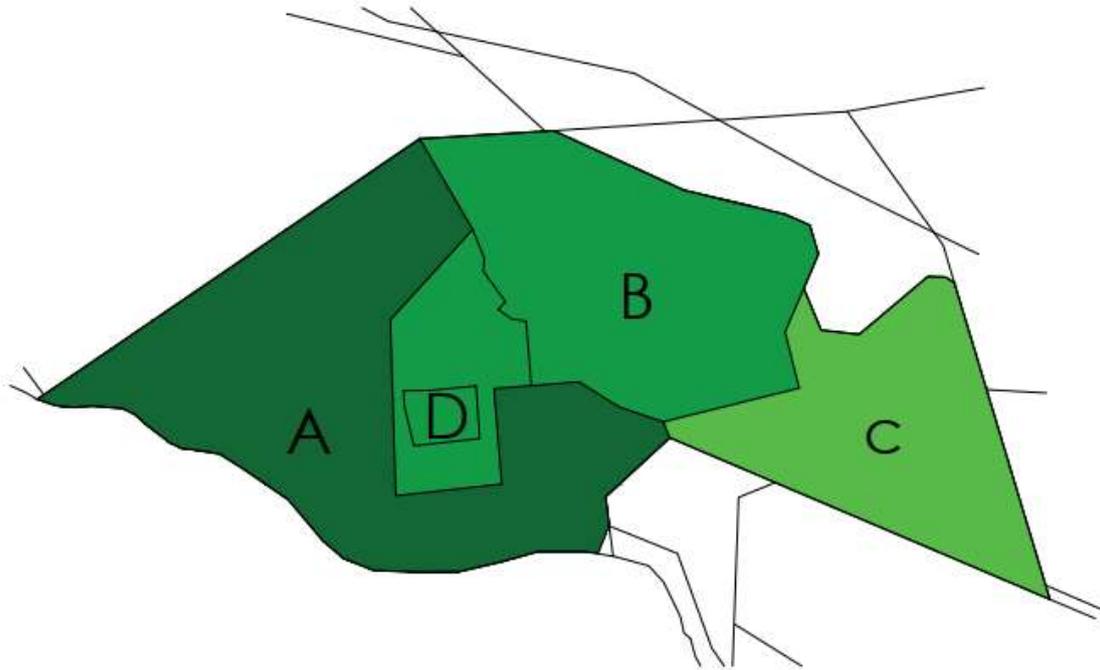
## 9. SYSTEMS & SERVICES

### 1. Green Initiatives

- 1.1. Heat pumps and/or solar geysers to be installed to service all dwellings, to be connected to the electric system as a backup energy supply.
- 1.2. Solar panels are to be installed set on the roof plane or unobtrusive. Heat pumps to be screened of the public view.
- 1.3. Geysers to be enclosed within the roof's attic space.
- 1.4. All dwellings to comply with SANS 10400 Part XA.
- 1.5. Rainwater to be collected from roof surfaces and road surfaces, where permissible, and directed to the water dams as retention tanks.
- 1.6. Road and pathway surfaces to be permeable.
- 1.7. The grey water of all dwellings is to be collected utilized for the watering of community gardens and urban farms. To later detail.
- 1.8. Sewerage and waste are to be adequately entered into the municipal system following council approval.
- 1.9. The homeowner within the Entabeni Heights scheme must install a 3 chamber Bio-digestible tank between the home and the connection to the sewer; or such other tank system or screen that is acceptable to the project engineer.
- 1.10. The homeowner within the Entabeni Quarters scheme will be provided with a common 3 chamber Bio-digestible tank to connect into to the satisfaction of the project engineer.
- 1.11. Responsible practices relating to energy and resource saving are encouraged, including sorting and recycling of material during the construction process.

## 10. ANNEXURES

### 1. Annexure 1: Land Use Diagram



**Zone A:** Entabeni Fields

**Zone B:** Entabeni Heights

**Zone C:** Entabeni Quarters

**Zone D:** Hudson Manor House / Entabeni Knysna

## **2. Annexure 2: Environmental Management Plan**

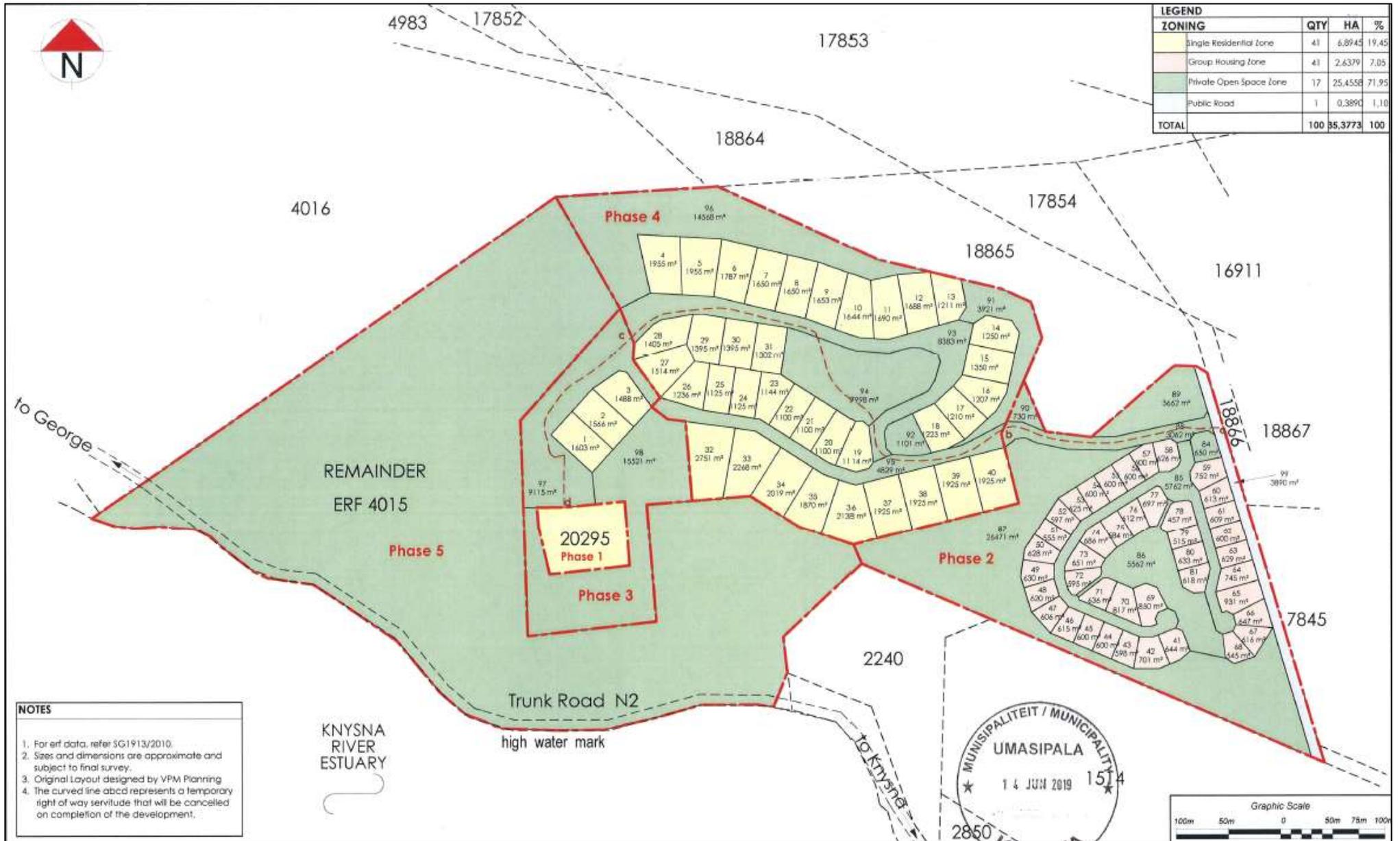
### **3. Annexure 3: Proposed New Landscape**

#### **4. Annexure 4: Contour Survey**

## 5. Annexure 5: Sample Architectural Perspectives



## **6. Annex 6: Approved Subdivision Plan**



## 7. Annex 7: Colour Palette

Notes:

- Colour codes based on Plascon colour palette.
- Colour variations may be considered, to the approval of the Committee.
- White is an allowed colour.



**Mandarin Tusk**  
49

**Off Shore**  
50

**Geneva Morn**  
51

**Crete Shore**  
52

**Paris Paving**  
53

**Rhine Castle**  
54

**Plaster**  
61

**Ravine**  
62

**Beijing Moon**  
63

**Hong Kong Mist**  
64

**Tibetan Cloak**  
65

**Auberge**  
66